

GENERAL CONDITIONS

1. The Contract Documents for this project consist of the Drawings, the Specifications, the Schedules and written Project Description together.
2. A. The "General Conditions of the Contract for Construction", Standard Form of the American Institute of Architects, Document A201, current edition, is hereby made a part of the Contract Documents and shall apply to the Contractor and all Subcontractors.
B. Where any article of the "AIA General Conditions" is supplemented hereby, the AIA provisions of such article shall remain in effect. All supplemental provisions shall be considered as added thereto. Where any such article is amended, voided or superseded thereby, the provisions of such article not so specifically amended, voided or superseded shall remain in effect.
3. No deviation from the drawings and/or specifications and/or schedules for any reason whatsoever, and with regard to any portion of the services, materials, labor, and/or equipment required for the work shall be construed to be a precedent for the handling of any subsequent interpretation or application of the provisions of the drawings and/or specifications.
4. All materials shall be new and unused, U.O.N., and of the highest quality in every respect. All work shall be done in a thorough, workmanlike manner and shall be done in accordance with all applicable codes and ordinances. Workmanship shall be equal to the best standards of practice.
5. All incidental work or materials, not specifically indicated herein, which are required to complete the work in a satisfactory manner, and which may be fairly implied as included in the Contract and which the Designer shall judge to be so included, shall be done or furnished by the Contractor without extra compensation.
6. All manufactured articles, materials and equipment shall be applied, installed, connected, erected, used, cleaned, adjusted and conditioned as directed by the manufacturer unless specified to the contrary.
7. The Contractor and all subcontractors shall coordinate their work with all adjacent work and shall coordinate with all other trades so as to facilitate the general progress of the work. Each trade shall afford all other trades every reasonable opportunity for the installation of their work and for the storage of their materials.
8. If the Contractor desires to use another material in lieu of any of the specified choices, he shall request in writing the approval of same. No substitution shall be made for any material, articles, or process herein specified and/or shown on the drawings unless approved in writing by a change order.
9. Wherever the words "approved by", "satisfactory to", "as directed by", "submitted to", "inspected by", or similar phrases are used in this specification, they shall be understood to mean that the material or item referred to shall be approved by, satisfactory to, as directed by, submitted to, inspected by the Owner.
10. All waste and refuse caused by the work shall be removed from the premises and legally disposed of by the Contractor. The premise shall be left completely clear and clean to the satisfaction of the Owner.
11. The Contractor shall provide samples of all finish materials prior to purchase for Owner's approval.
12. Reflected Ceiling and Electrical Layout Plans are design drawings only. It is intended to imply a diagrammatic scope of work for use by the appropriate Subcontractor in developing an installation. Positions of fixtures, outlets, switches and other architectural and visible features are fixed as shown unless a change in position is authorized by the Owner. Contractor is responsible for routing of feeders, ducts and provision of any other non-visible components for a fully operational, safe and code-compliant system.
13. The building and its grounds shall be protected from any damage that may occur due to this work. Any damages which do occur are the financial responsibility of the General Contractor.
14. The Contractor shall make good all defects due to faulty labor or materials for one year following acceptance of the completed work, unless specified for a longer period of time.
15. All Design/Build subcontracts and plans shall be submitted within 5 days of the intent to sign a contract with the General Contractor.
16. Besides the general broom cleaning, the Contractor shall do the following special cleaning for all trades at the completion of the work:
A. Remove putty stains and paint from all glass and wash and polish same. Care shall be taken not to scratch any glass.
B. Remove all marks, fingerprints and other soil or dirt from all painted, decorated and stained work before final acceptance of the work.
C. Remove all temporary protections and clean and vacuum all floors before final acceptance of the work.
D. Clean and polish all hardware. This shall include removal of all stains, dust, dirt, paint, etc., before final acceptance.
17. The Contractor will be held responsible for all damaged, broken, or scratched glass. Before final acceptance of the work, he shall replace all such glass at his own expense.
18. The Contractor shall, after consulting with the Owner, schedule the work so as not to interfere unduly with neighbors, etc. The Contractor shall allay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, passageways, or neighbor's property.

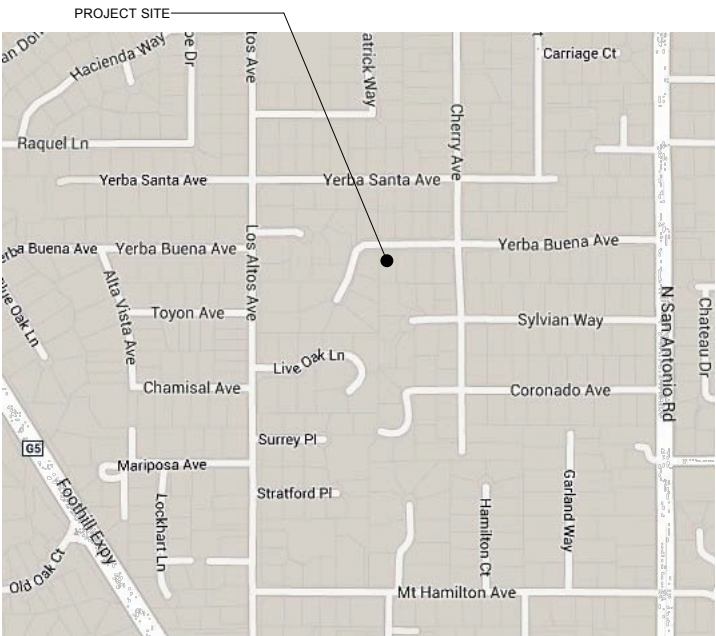
GENERAL NOTES:

1. Handrails at wall shall be 1 1/2" to 2" diameter wood at 34" to 36" above stair nosings (continuous along run of stair).
2. Batt insulation shall have a flame spread rating not to exceed 25 and a smoke density not to exceed 450. Vapor retarder on the "warm" side of the insulation shall have a transmission rate not exceeding 1 perm. Refer to Title 24 compliance forms for insulation values.
3. Flashing shall be 24 gauge minimum, U.O.N.
4. All dimensions are to face of finish unless otherwise noted.
5. Verify all appliance and fixture dimensions.
6. Wood in contact with earth or embedded in concrete shall be exterior grade pressure treated Douglas fir (PTDF) or redwood.
7. Draft stops shall be 1/2" GWB or 3/8" plywood, minimum.
8. Ceilings shall be 5/8" GWB U.O.N.
9. Fire blocks shall be solid 2" nominal lumber and of the same width as stud and furring U.O.N. and shall be provided in the following locations:
A. In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels.
B. In concealed spaces of stud walls and partitions including furred spaces more than 8'-0" but not more than 14'-0" height, shall have one or more rows of blocking. Locate rows of blocking so that in no case will distance between sole or top plates and blocking or between lines of blocking exceed 8'-0".
C. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, dropped ceilings and cover ceilings.
D. In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with non-combustible materials.
E. Place continuous 2" blocking at ceiling line in areas with furred ceilings.
10. Bridging: All floor joist spans over 8'-0" shall be solid blocked or cross bridged at mid-span.
11. Blocking and backing: Provide solid blocking for cabinets, towel bars, wood trims and accessories. All plywood butt edges shall be solid blocked. Provide solid blocking at all guardrails.

GENERAL CONSTRUCTION NOTES

1. Notes: all plan notes imply the words "the contractor shall..." or "the contractor shall install..."
2. All work shall be done in compliance with all applicable codes, including but not limited to: 2010 CBC, 2010 CMC, 2010 CPC, 2010 CEC and 2010 Edition of Title 24 Energy Efficiency Standards (including errata and supplements to the above codes.) City, County and State ordinances and regulations, Cal-OSHA and the State Safety Orders, the California Labor Code, the California State Fire Marshal Law and all other applicable and adopted codes governing construction. The California Building Standards Code is based on the 2009 IBC, 2009 UMC, 2009 UPC and 2008 NEC. References to the above shall include additions, changes, amendments, and interpretations adopted by the enforcing agency, and in effect on the date of these Contract Documents. Nothing on the Drawings or in the Specifications shall be interpreted as requiring or permitting Work that is contrary to these rules, regulations, and codes.
3. The Contractor shall review all plans, specifications, and schedules before any work is constructed and/or fabricated and shall verify all dimensions and conditions shown on the drawings and coordinate with existing conditions. The Contractor shall thoroughly examine the site and satisfy himself as to the conditions under which the work is to be performed. Proper fit and attachment of all parts is required. Any variances and/or discrepancies that arise in the above review are to be reported to the Owner immediately for resolution. Should the Contractor fail to report such variances and/or discrepancies, the Contractor shall be fully and solely responsible for the correction or adjustment of any such related work or errors. Figured dimensions shall be followed in preference to scale, and detail drawings in preference to small scale drawings. The specifications and/or written notices and/or schedules shall be followed in preference to information furnished in the form of lines on drawings.
4. Perform excavation and foundation work in conformance with the requirements of the structural engineer and geotechnical engineer.
5. Comply with the certification requirements of the California Energy Commission for plumbing trim, water heaters furnaces and appliances.
6. Install all materials, equipment, fixtures and appliances in conformance with the requirements and recommendations of the manufacturer and the requirements of the codes.
7. Fully weatherstrip all exterior doors and thresholds, with approved permanently-affixed weatherstripping.
8. General Contractor and their subs are to be fully responsible for waterproofing and flashing at all exterior locations. Flashing and waterproofing shall be installed in such a manner so as to prevent moisture from entering the wall or to redirect it to the exterior. Architectural waterproofing and flashing details are meant for information and design intent only, they are not meant to dictate the actual sequence, materials, quality or manner of work. The General Contractor and their subs shall provide the highest standard of care in detailing and installing waterproofing.
9. Verify exact location of plumbing and piping with the plumbing sub-contractor.
10. Attach all piping within plumbing walls with vibration isolators. Do not allow piping to come into contact with structure at any point in plumbing wall.
11. Verify exact locations of mechanical equipment, ducts, grilles, registers, flues and vents with mechanical sub-contractor.
12. Verify exact location of electrical switches, light fixtures, convenience outlets and electrical service boards with the electrical sub-contractor and Owner.
13. Provide shop drawings of cabinet/millwork for the Owner to approve.
14. Verify all rough-in dimensions for equipment provided in this contract or equipment provided by others. All dimensions noted "verify" are to be checked by Contractor prior to construction and reported to the Owner. Bring any errors or omissions found in these drawings to the attention of the designer immediately.
15. Refer to Structural, Mechanical, Electrical and other categories of drawings for dimensions, details, equipment and other information.
16. All conditions not specifically detailed on drawings shall be similar to those shown, or those details existing in the field.
17. Contractor to schedule site meetings with Owner 48 hours in advance by email.
18. Fan and duct openings shall terminate a min. of 3' from floor or openings into the building. No venting along south building facade.
19. Furnace heating ducts sealed at plenum and all joints in heating duct system with duct tape or mastic and insulated to a minimum of R-3.
20. All persons working at this site shall implement applicable portions of the State Storm Water Best Management Practices Manual for Construction to the maximum extent practicable to prevent erosion and sediment from entering the storm drain system.

VICINITY MAP



PROJECT INFORMATION

	EXISTING	PROPOSED
ZONING	R1-10	NO CHANGE
BUILDING OCCUPANCY GROUP	R-3 RESIDENTIAL	NO CHANGE
BUILDING CONSTRUCTION TYPE	V-B	V-B
LOT SIZE	12,750 SQUARE FEET	NO CHANGE
BUILDING FOOTPRINT	3,584 SQUARE FEET	3,721 SQUARE FEET
LOT COVERAGE	28%	29%
CONDITIONED FLOOR AREA	2916 SQUARE FEET	3589 SQUARE FEET
TOTAL FLOOR AREA	3317 SQUARE FEET	4024 SQUARE FEET
NUMBER OF DWELLING UNITS	1	1
NUMBER OF PARKING SPACES	2	2
BUILDING HEIGHT	16'	22' 8"
NUMBER OF STORIES	1	2
FIRE SUPPRESSION	NONE	SPRINKLERED @ R-13 NEW CONSTRUCTION

SCOPE OF WORK

2ND STORY ADDITION, RENOVATION TO EXISTING ONE STORY SINGLE FAMILY HOUSE AND CONSTRUCTION OF NEW ACCESSORY STRUCTURE.

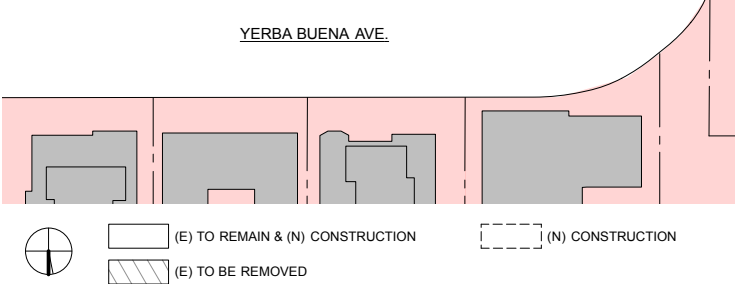
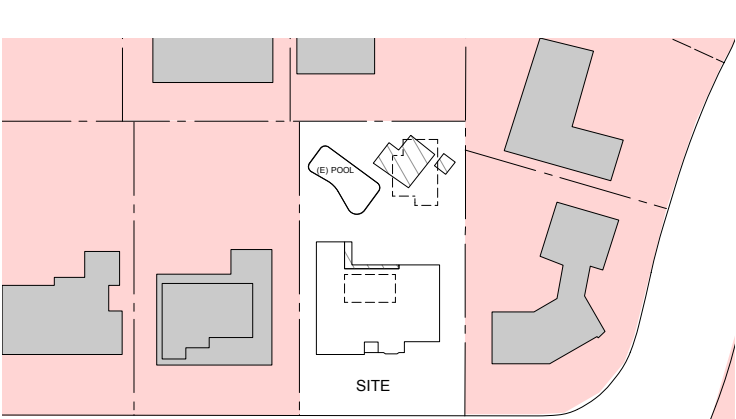
PROJECT SUMMARY TABLES

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	3584 square feet {28%}	3721 square feet {29%}	3825 square feet {30%}
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 3320 sqft 2nd Flr: 0 sqft Total: 3320 sqft {26%}	1st Flr: 3593 sqft 2nd Flr: 431 sqft Total: 4024 sqft {32%}	4025 square feet {3850 sf + {10%} {12750-11000}} = 32%
SETBACKS:			
Front	30.5 feet	30.5 feet	25 feet
Rear	61 feet	61 feet	25 feet
Right Side (1st/2nd)	9.5 feet / n/a feet	9.5 feet / 26.75 feet	10 feet / 17.5 feet
Left Side (1st/2nd)	11.33 feet/ n/a feet	11.33 feet/25.5 feet	10 feet/ 17.5 feet
HEIGHT:	16.25 feet	23.25 feet	27 feet

SQUARE FOOTAGE BREAKDOWN			
	Existing	Change In	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2946 square feet	550 square feet	3589 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	495 square feet	-60 square feet	435 square feet

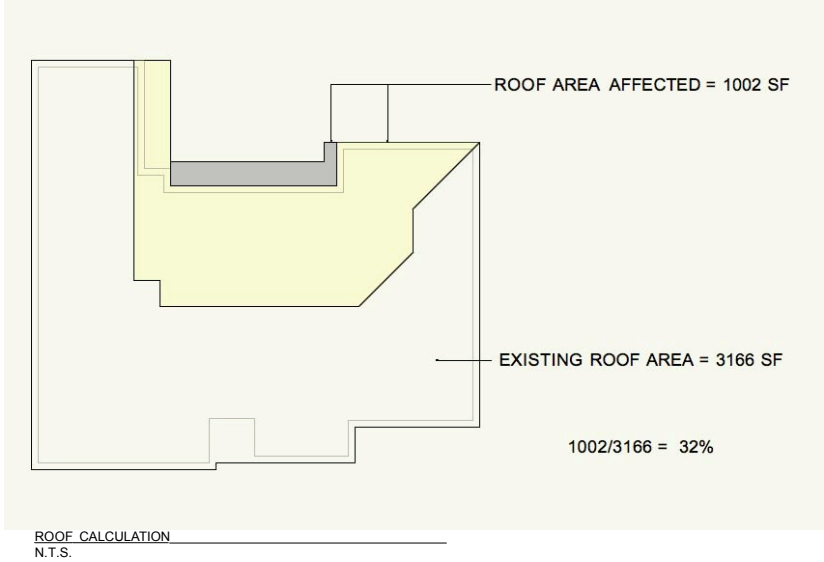
LOT CALCULATIONS	
NET LOT AREA:	12750 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1033 square feet (37.5%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 8082 sqft Existing softscape (undisturbed) area: 4468 sqft New softscape area: 200 sqft <i>sum of all three equal the site's net lot area</i>

NEIGHBORHOOD PLAN



SHEET INDEX

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PLANNING PERMIT 4-17-2015

PLANNING REV 5-19-2015

BUILDING PERMIT



Client
Paul & Allie Yun Residence

198 Yerba Buena
Los Altos, CA

APN: 167-32-041

RENOVATION & NEW
CONSTRUCTION

COVER SHEET

Date : 5-19-2015

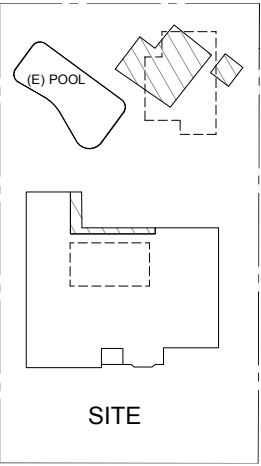
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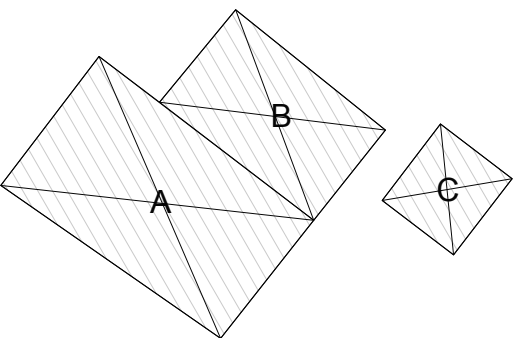
FLOOR AREA AND COVERAGE CALCULATIONS

PROPOSED					
Section	Dimensions	Area	Section	Dimensions	Area
I	25' 1" x 6' 7"	165 sq. ft.	P	24'3" x 13' 0"	315 sq. ft.
G	13' 7" x 5' 7"	75 sq. ft.	O	8' 11" x 7' 8"	69 sq. ft.
L	14' 9" x 39' 10"	588 sq. ft.	N	5' 1" x 9' 3"	47 sq. ft.
J	21' 1" x 40'	844 sq. ft.	SECOND STORY SUBTOTAL =		431 sq. ft.
K	28' 3" x 37' 4"	1055 sq. ft.	TOTAL FLOOR AREA =		4024 sq. ft.
M	14' 8" x 12' 1"	178 sq. ft.	T	3' 9" x 8' 5"	32 sq. ft.
R	11' 4" x 4' 8"	53 sq. ft.	H	7' 2" x 5' 7"	40 sq. ft.
S	23' 2" x 21' 1"	488 sq. ft.	Q	11' 9" x 4' 9"	56 sq. ft.
U	17' 6" x 8' 5"	147 sq. ft.	FIRST STORY SUBTOTAL =		3993 sq. ft.
FIRST STORY SUBTOTAL =		3593 sq. ft.	TOTAL LOT COVERAGE =		3721 sq. ft.

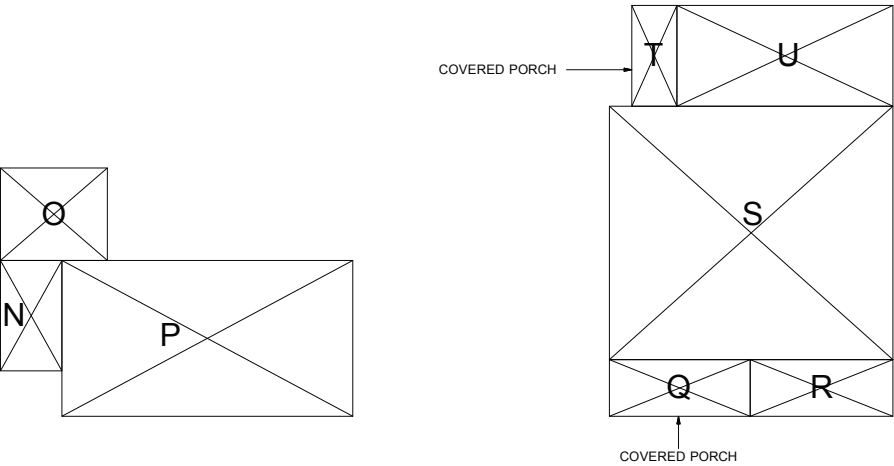
EXISTING					
Section	Dimensions	Area	Section	Dimensions	Area
A	22' 4" x 13' 6"	292 sq. ft.	G	13' 6" x 5' 7"	75 sq. ft.
B	16' 2" x 10'	158 sq. ft.	I	25' 1" x 6' 7"	165 sq. ft.
C	7' 6" x 8'	60 sq. ft.	J	21'1" x 40'	844 sq. ft.
D	[(6'+8' 6")/2] x 10"	6 sq. ft.	K	28' 5" x 37' 9"	1076 sq. ft.
TOTAL FLOOR AREA TO BE REMOVED =		516 sq. ft.	L	14' 9" x 40'	590 sq. ft.
E	24' 6" x 2' 1"	51 sq. ft.	M	14' 9" x 12'	177 sq. ft.
F	3' 10" x 14' 2"	55 sq. ft.	TOTAL FLOOR AREA TO REMAIN =		2927 sq. ft.
TOTAL LOT COVERAGE TO BE REMOVED =		622 sq. ft.	H	7' 2" x 5' 7"	40 sq. ft.
			TOTAL LOT COVERAGE TO REMAIN =		2967 sq. ft.



KEY PLAN (SITE PLAN)

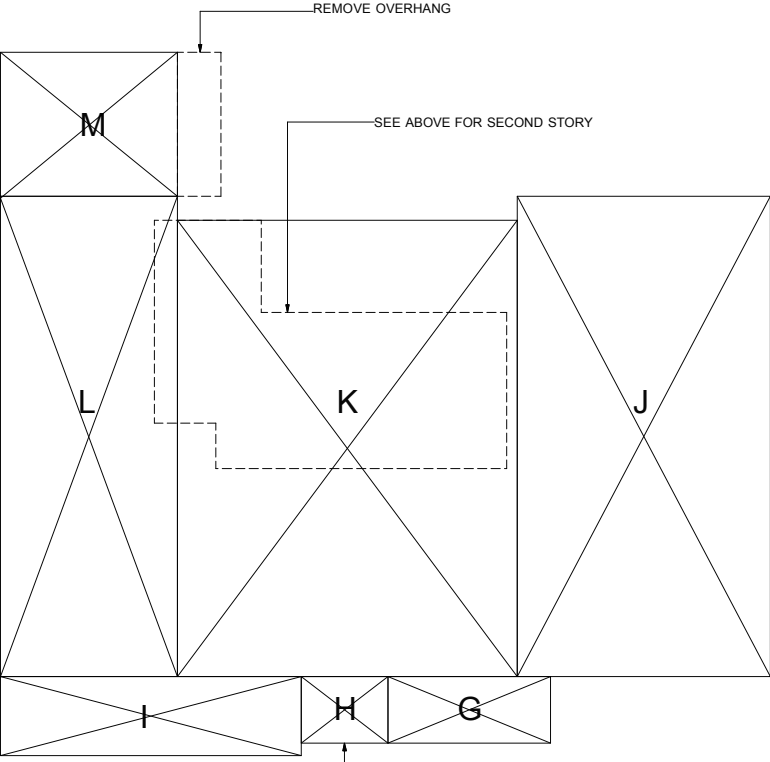


(E) POOL HOUSE AND SHED

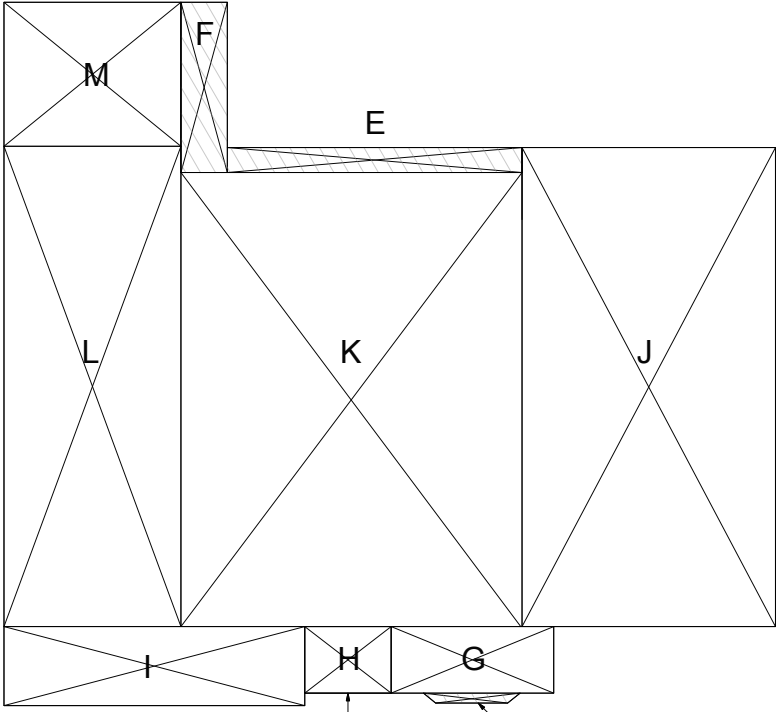


MAIN RESIDENCE SECOND STORY

ACCESSORY STRUCTURE



MAIN RESIDENCE FIRST STORY



(E) MAIN RESIDENCE FIRST STORY

TOTAL EXISTING LOT COVERAGE: 3584 SF



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CONSTRUCTION

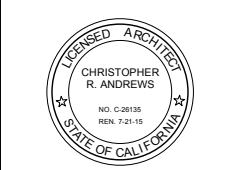
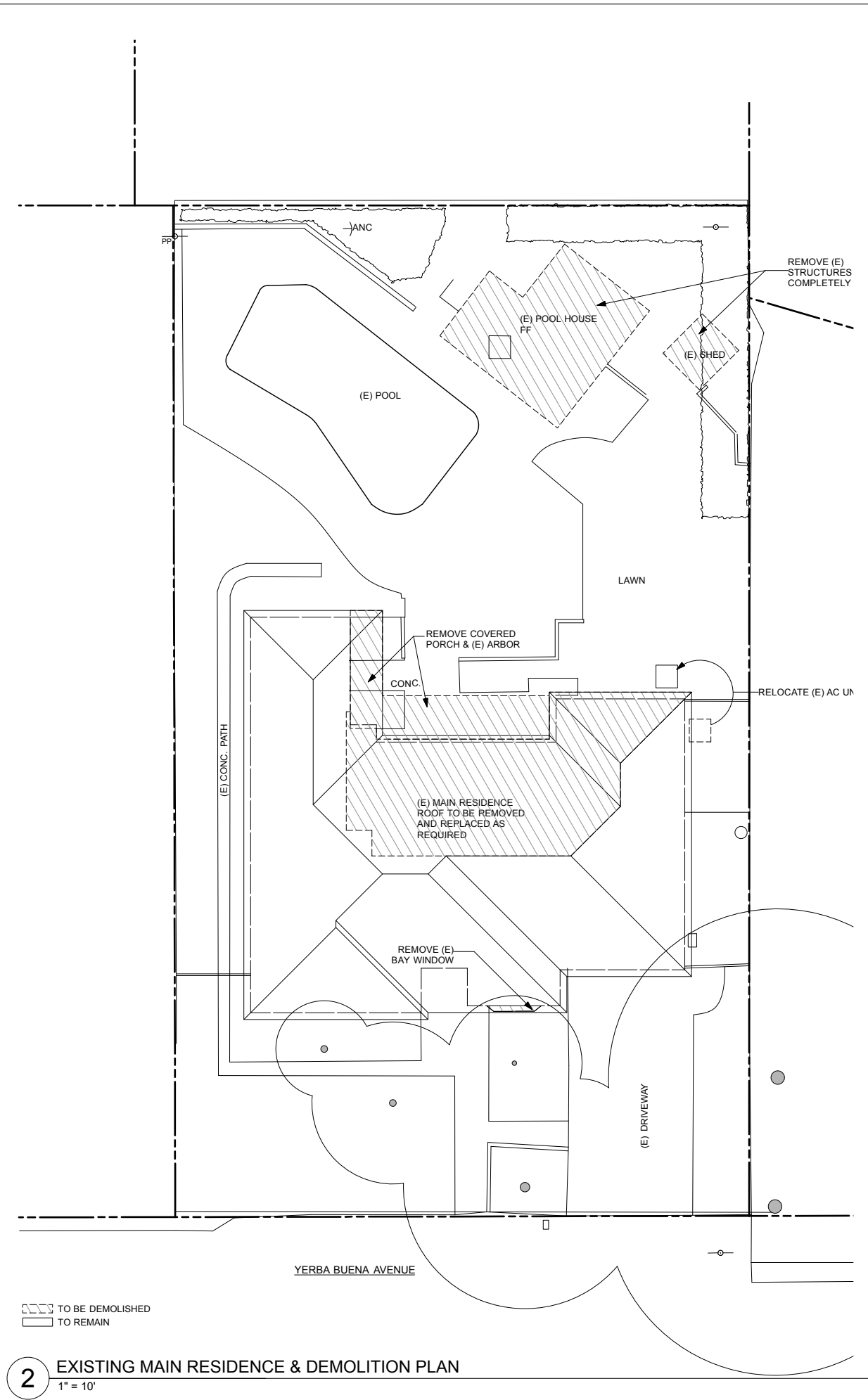
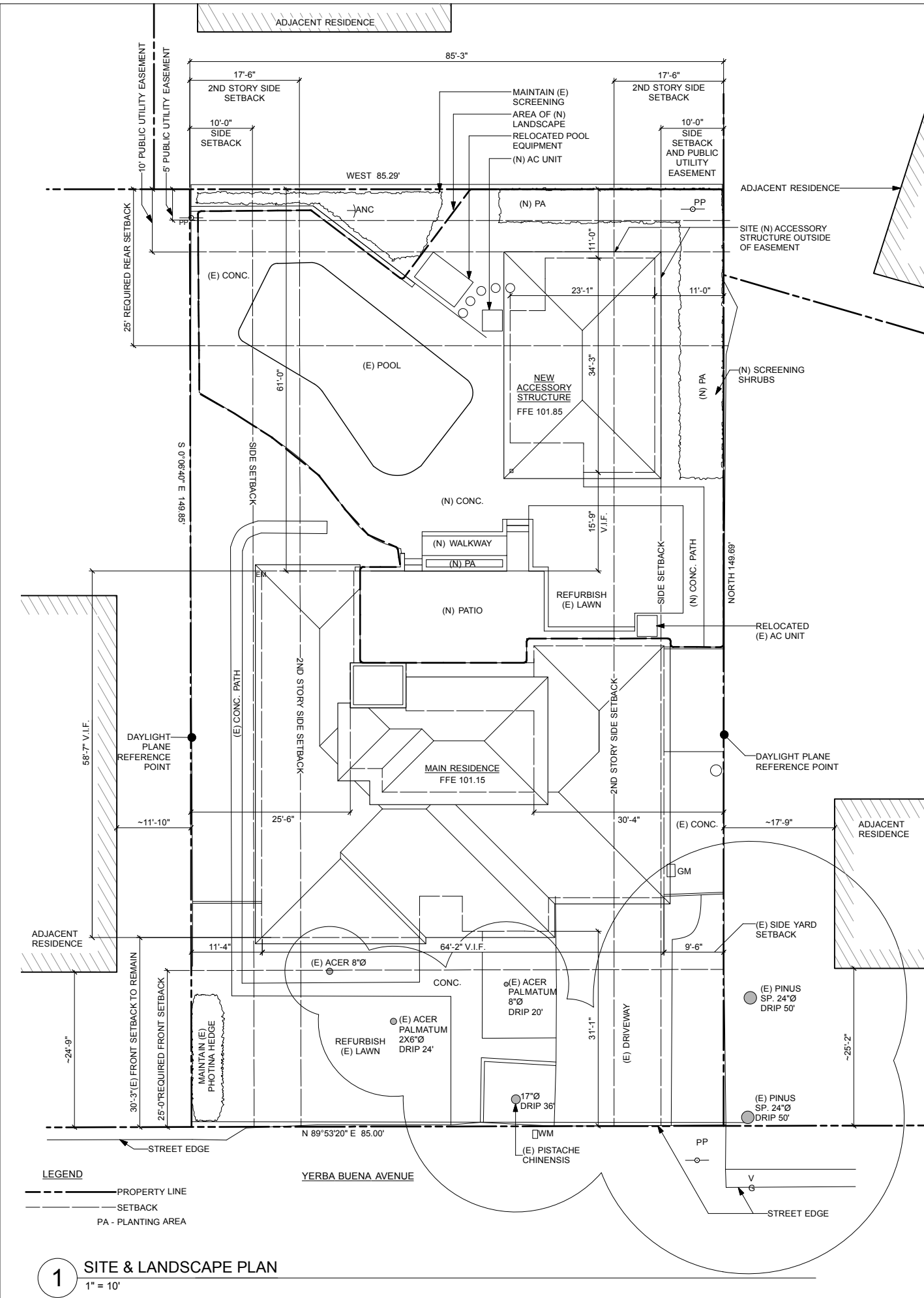
AREA CALCULATIONS



Date : 5-19-2015

Scale: See Drawing

A0.1

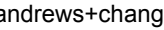


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RENOVATION & NEW
CONSTRUCTION
SITE, LANDSCAPE, &
DEMO PLANS

Date : 5-19-2015
Scale: See Drawing

A1.1



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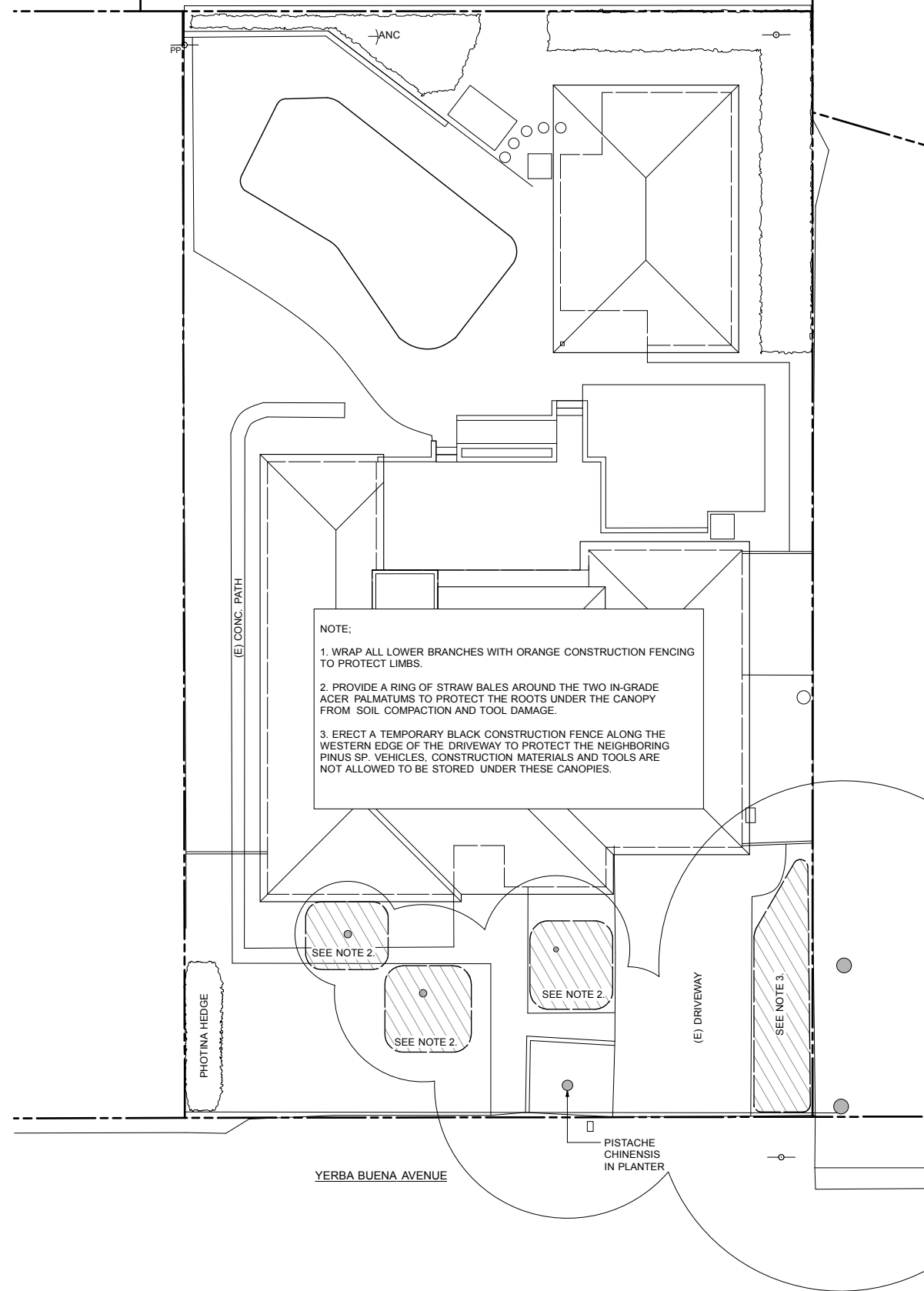
RENOVATION & NEW
CONSTRUCTION
TREE PROTECTION
AND GRADING



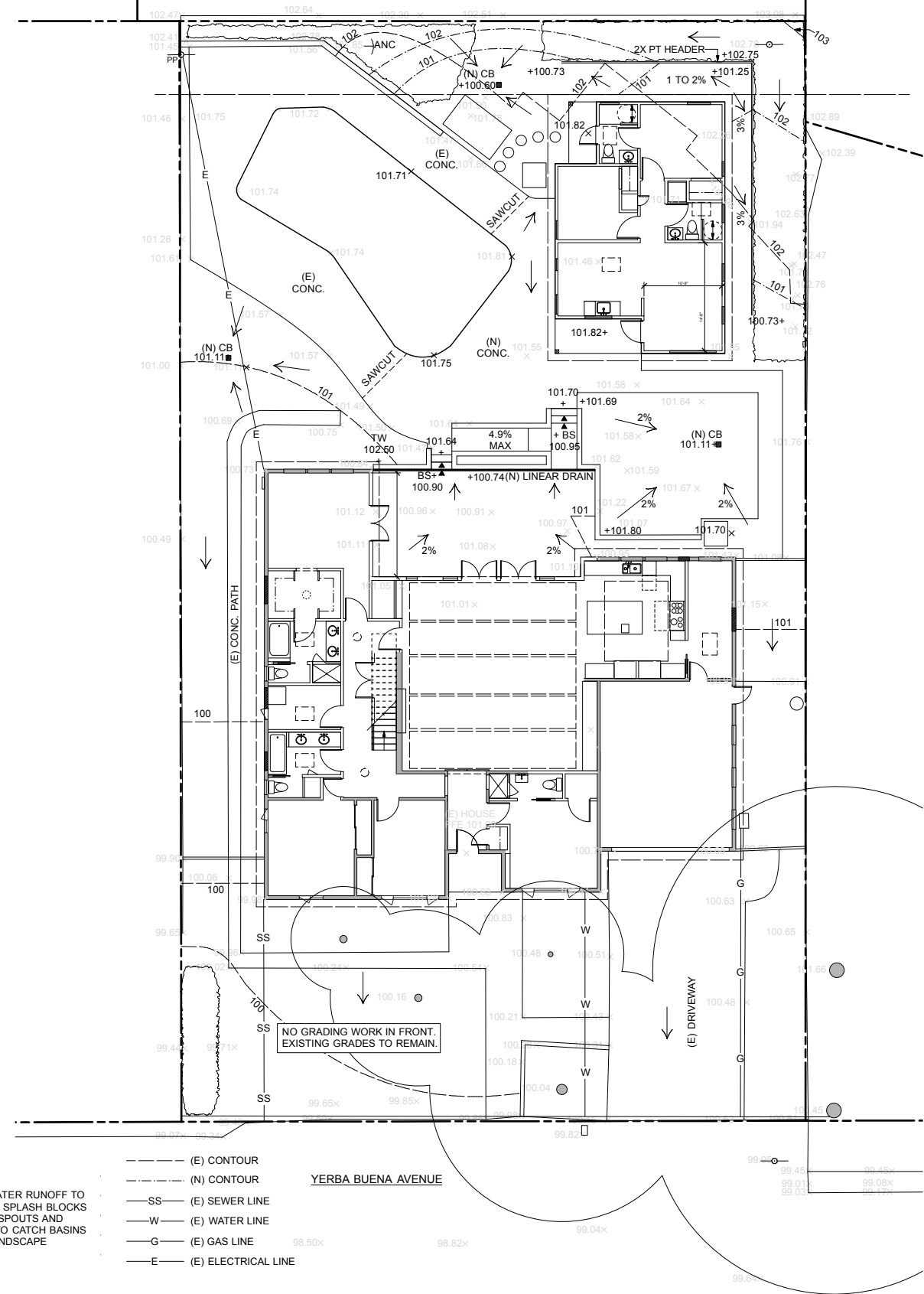
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A1.2



1 TREE PROTECTION PLAN
1" = 10'

$$1'' = 10$$


NOTE:

1. STORMWATER RUNOFF TO DRAIN VIA SPLASH BLOCKS @ DOWN SPOUTS AND SWALES TO CATCH BASINS IN THE LANDSCAPE

--- (E) CONTOUR
 --- (N) CONTOUR
 —SS— (E) SEWER LINE
 —W— (E) WATER LINE
 —G— (E) GAS LINE
 —E— (E) ELECTRICAL LINE

YERBA BUENA AVENUE

2 PROPOSED GRADING PLAN

 $1'' = 10$



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RENOVATION & NEW
CONSTRUCTION

MAIN RESIDENCE
DEMO PLAN



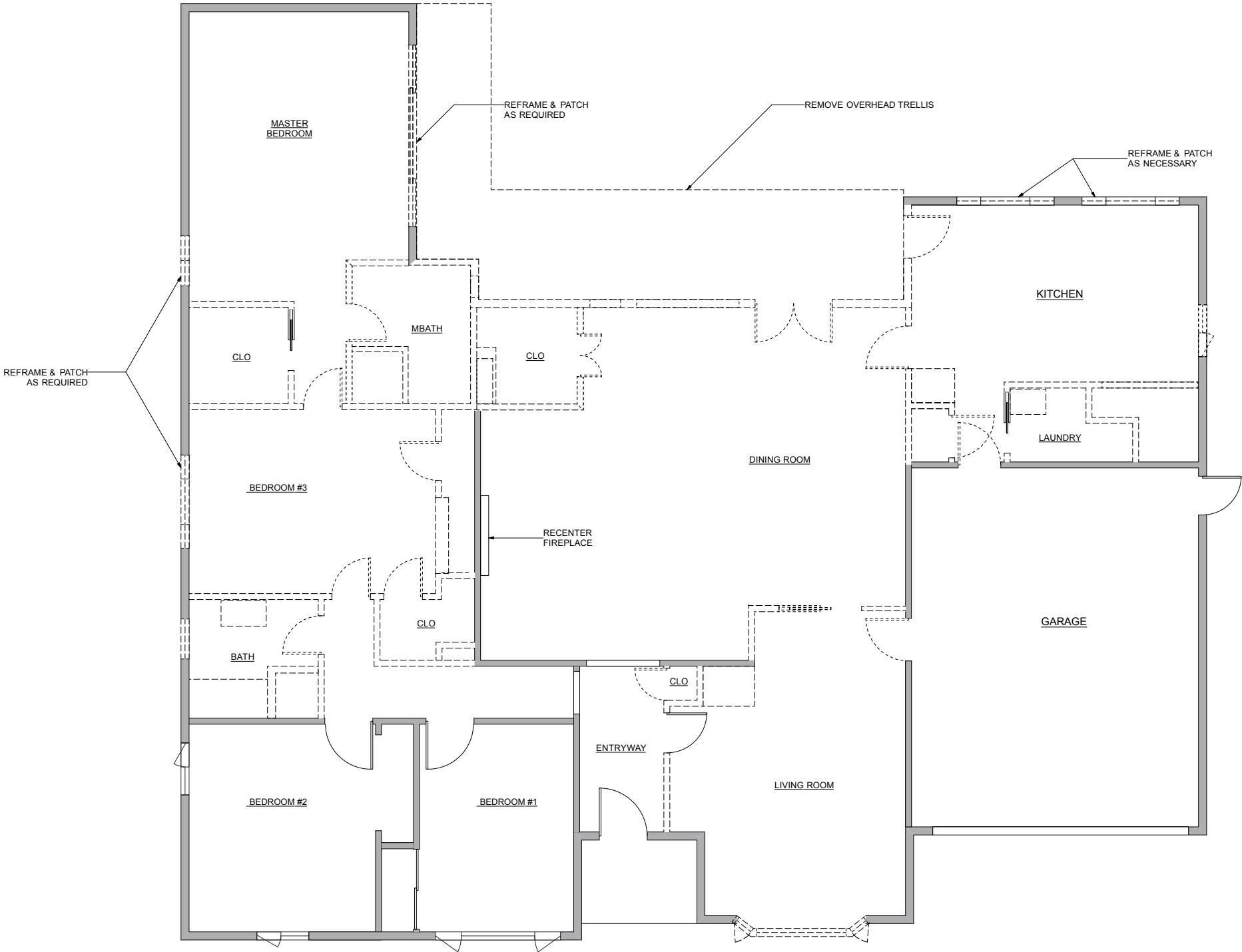
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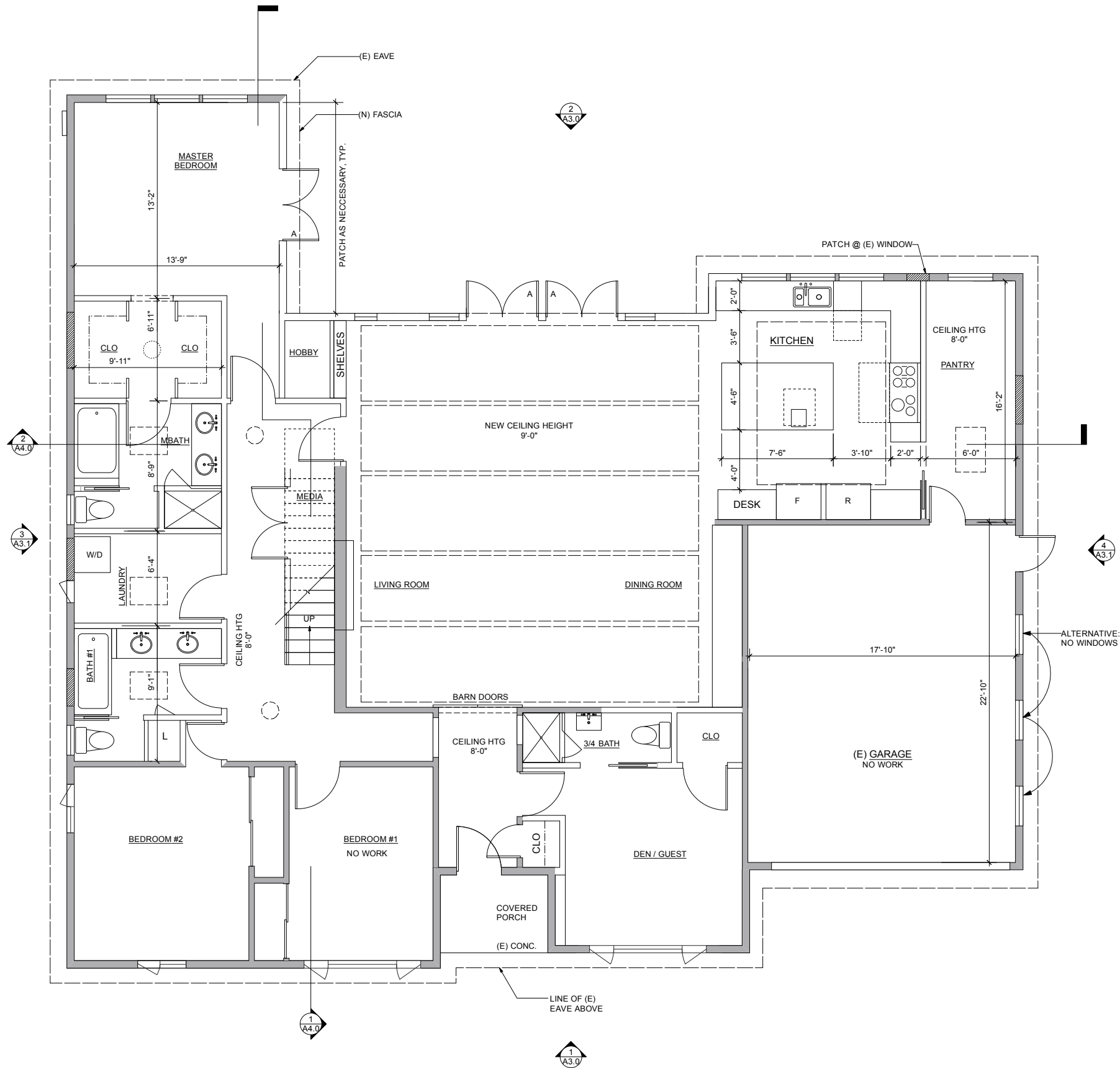
A1.3

LEGEND

- TO BE DEMOLISHED
- TO REMAIN



1 MAIN RESIDENCE DEMOLITION PLAN
1/4" = 1'-0"



1

RESIDENCE - GROUND FLOOR PLAN

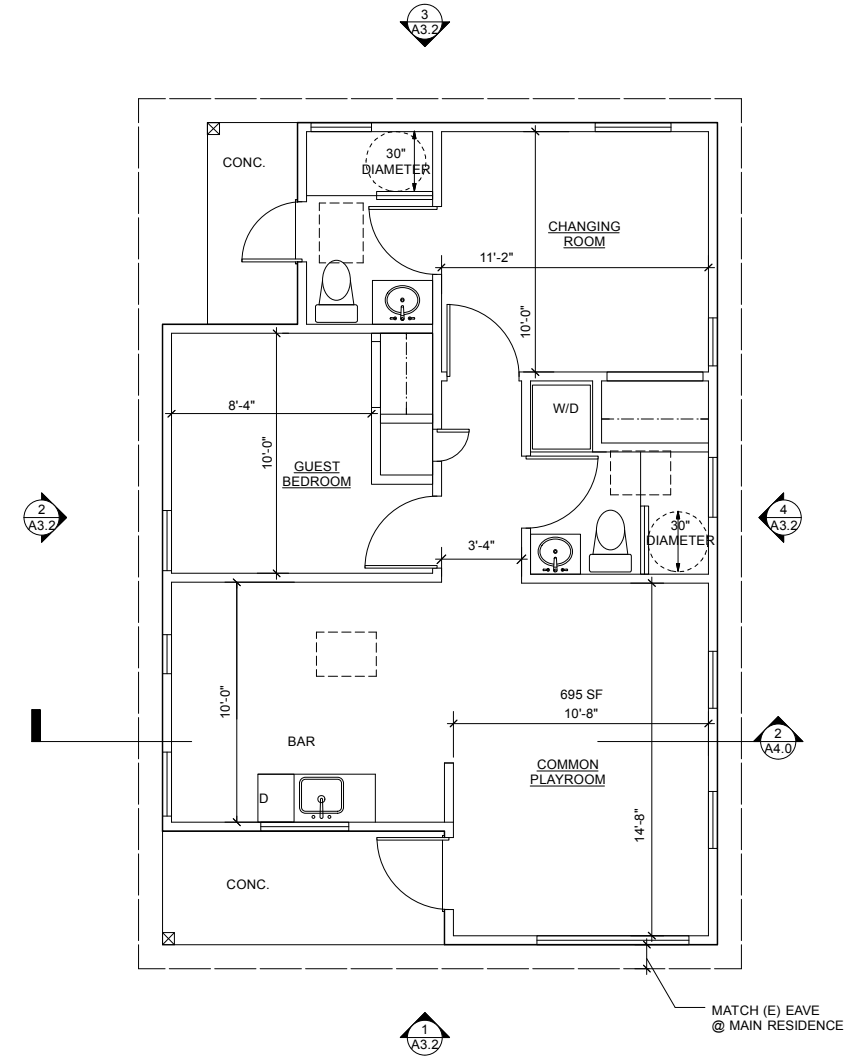
1/4" = 1'-0"

LEGEND

- (N) WALL
- (E) WALL ,TO REMAIN
- SKYLIGHT OR SOLAR TUBE
- PATCH AS NECESSARY, TYP.

NOTE:

REPLACE ALL WINDOWS W/ ALUMINUM CLAD MARVIN OR APPROVED EQ BRONZE ANODIZED.



2

ACCESSORY STRUCTURE GROUND FLOOR PLAN

1/4" = 1'-0"



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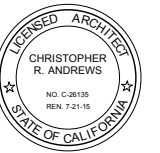
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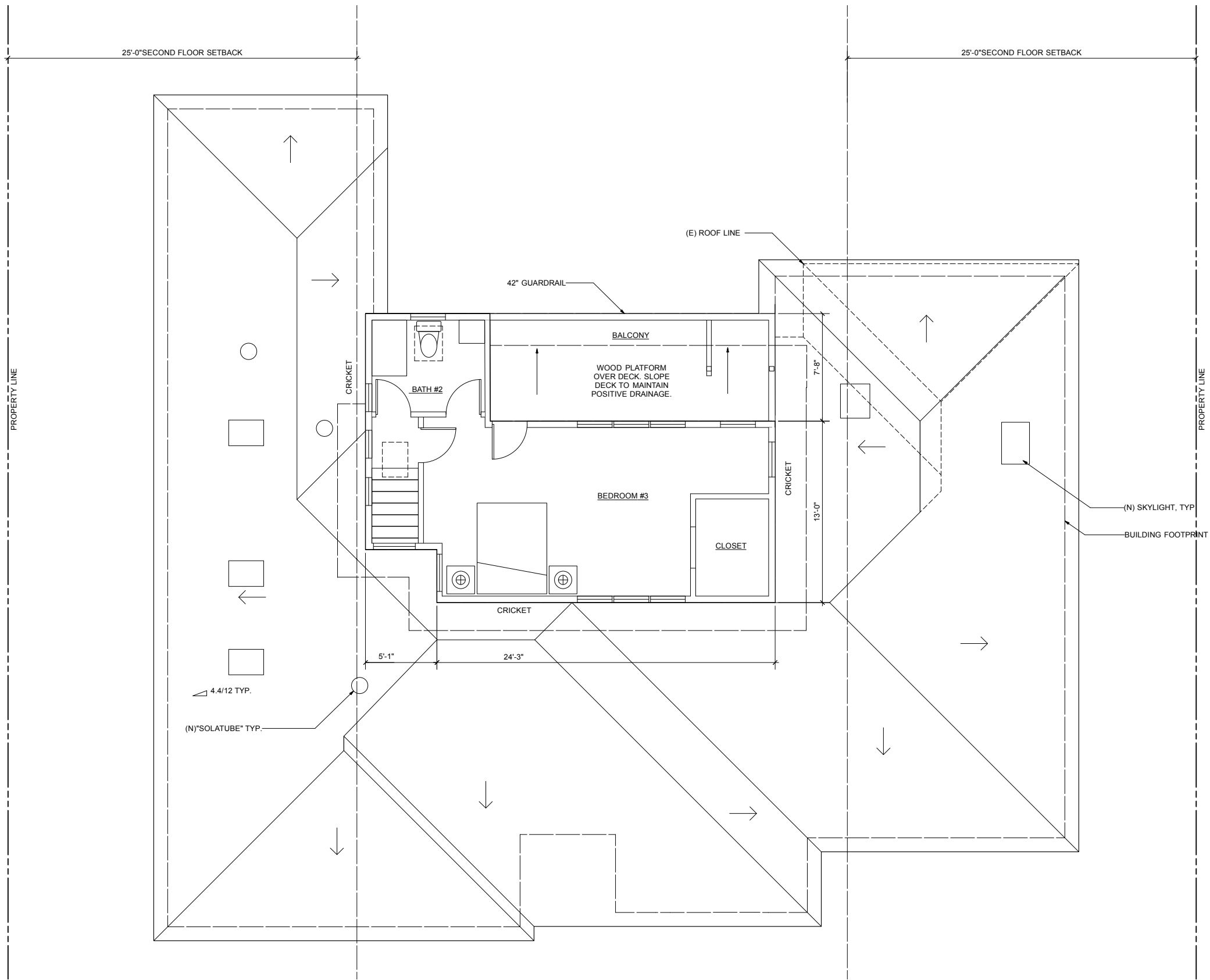
FLOOR PLANS



Date : 5-19-2015

Scale: See Drawing

A2.0



NOTE:
CRICKET AS NECESSARY
TO MAINTAIN POSITIVE
DRAINAGE, TYP.



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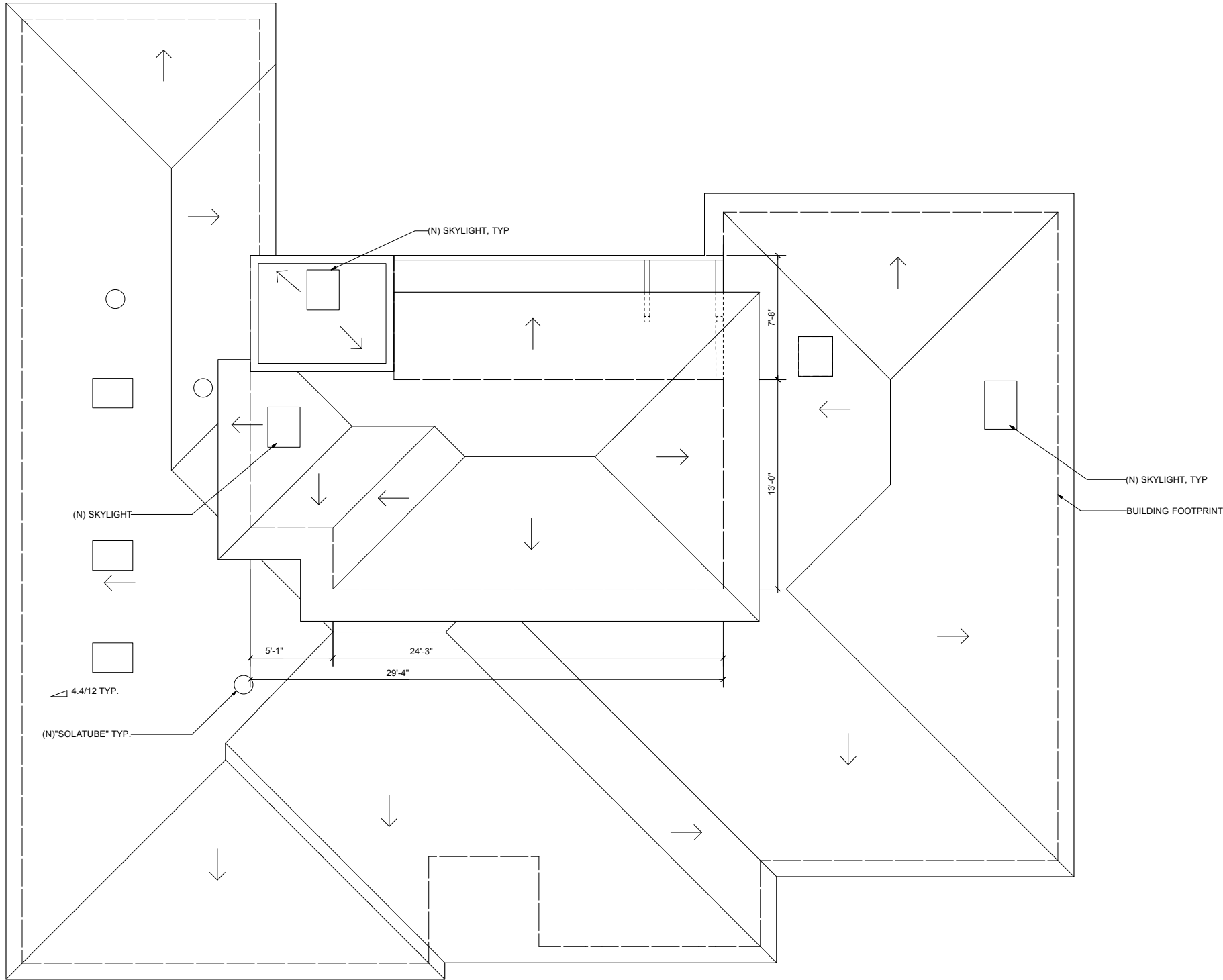


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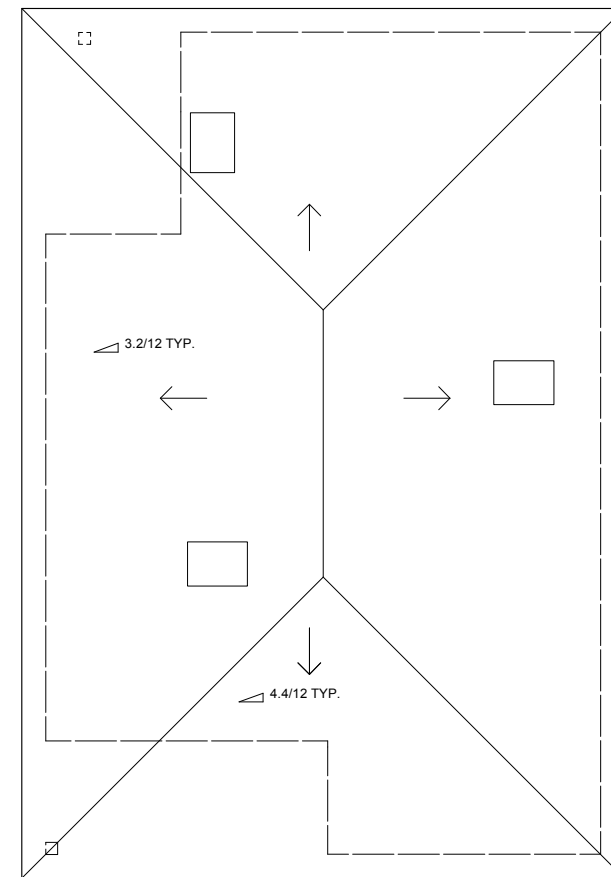
A2.1

1 RESIDENCE - UPPER FLOOR PLAN
1/4" = 1'-0"



1 RESIDENCE - PROPOSED ROOF PLAN
1/4" = 1'-0"

-  EXISTING ROOF STRUCTURE TO REMOVE: 928 SQ FT
-  NEW ROOF AREAS: 676 SQ FT=21% @ MAIN STRUCTURE
-  EXISTING ROOF STRUCTURE TO REMAIN



2 ACCESSORY STRUCTURE ROOF PLAN
1/4" = 1'-0"



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A2.2



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RENOVATION & NEW
CONSTRUCTION

MAIN RESIDENCE
ELEVATIONS

Date : 5-19-2015

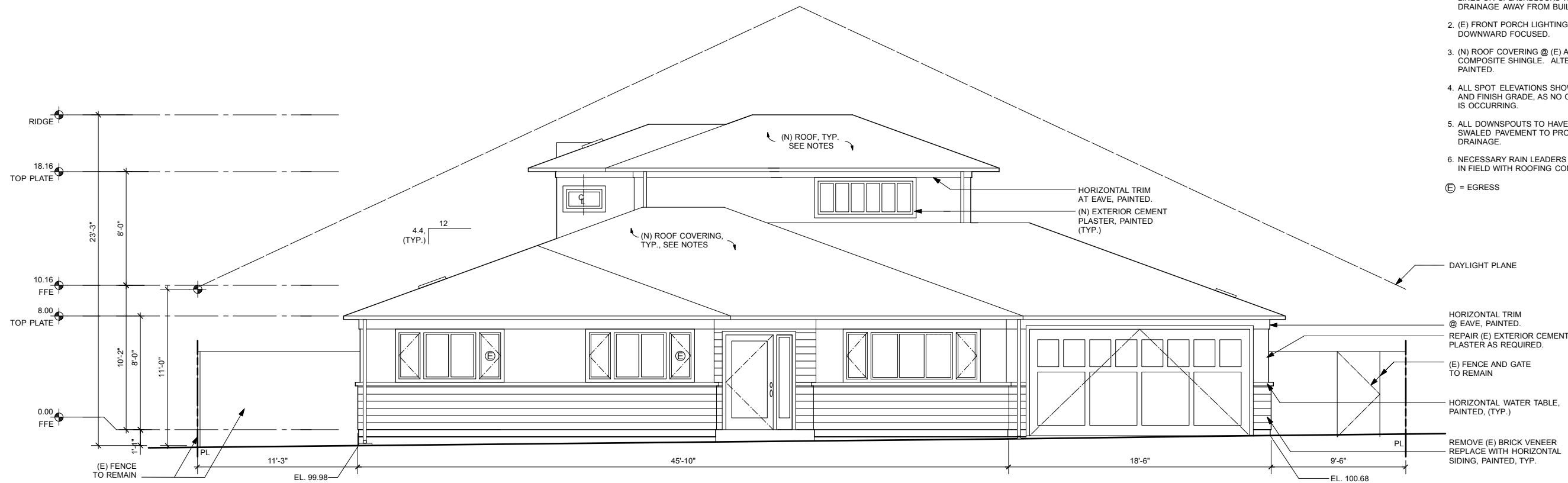
Scale: See Drawing

A3.0

NOTES:

1. ALL NEW DOWNSPOUTS TO BE TIED TO TIGHT LINES OR SPLASHBLOCKS WITH POSITIVE DRAINAGE AWAY FROM BUILDINGS.
2. (E) FRONT PORCH LIGHTING TO REMAIN DOWNWARD FOCUSED.
3. (N) ROOF COVERING @ (E) AND (N) ROOFS TO BE COMPOSITE SHINGLE. ALTERNATIVE: METAL, PAINTED.
4. ALL SPOT ELEVATIONS SHOW EXISTING GRADE AND FINISH GRADE, AS NO CHANGE TO GRADE IS OCCURRING.
5. ALL DOWNSPOUTS TO HAVE SPLASHBLOCKS OR SWALED PAVEMENT TO PROVIDE POSITIVE DRAINAGE.
6. NECESSARY RAIN LEADERS TO BE DETERMINED IN FIELD WITH ROOFING CONTRACTOR.

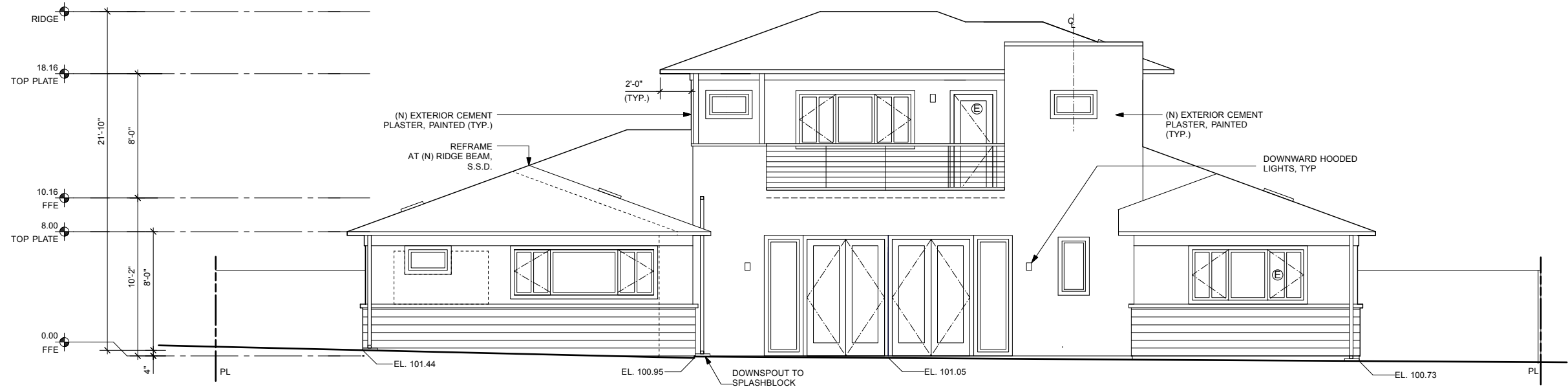
Ⓔ = EGRESS



1

PROPOSED NORTH ELEVATION

1/4" = 1'-0"



2

PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



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ISSUE

PLANNING PERMIT 4-17-2015

PLANNING REV 5-19-2015

BUILDING PERMIT



Client
Paul & Allie Yun Residence

198 Yerba Buena
Los Altos, CA

APN: 167-32-041

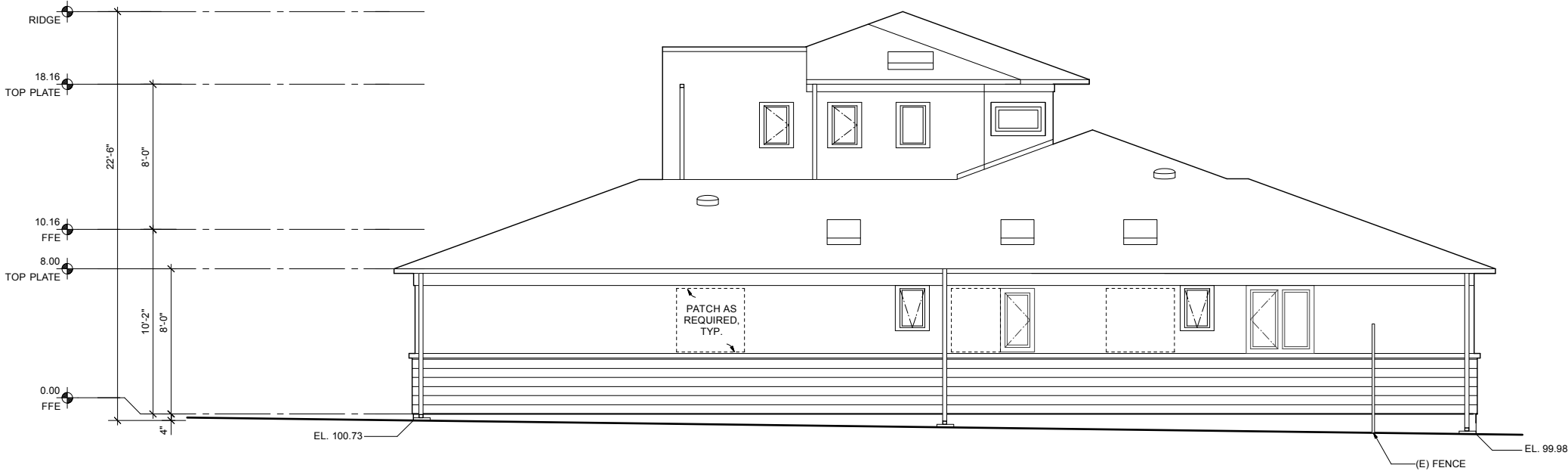
RENOVATION & NEW
CONSTRUCTION

MAIN RESIDENCE
ELEVATIONS

Date : 5-19-2015

Scale: See Drawing

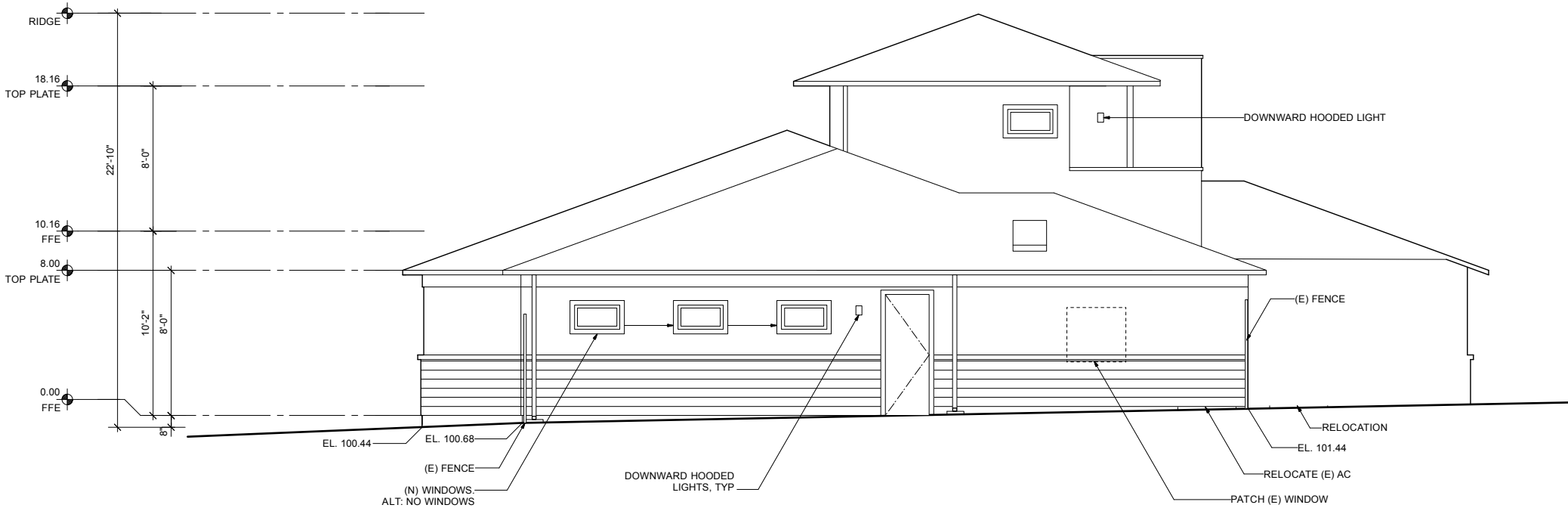
A3.1



3

PROPOSED EAST ELEVATION

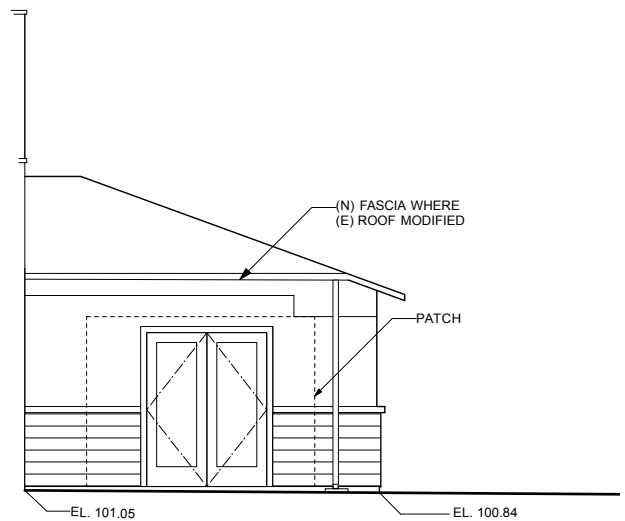
1/4" = 1'-0"



4

PROPOSED WEST ELEVATION

1/4" = 1'-0"



5

PROPOSED WEST PARTIAL ELEVATION

1/4" = 1'-0"



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RENOVATION & NEW
CONSTRUCTION

ACCESSORY
STRUCTURE
ELEVATIONS

Date : 5-19-2015

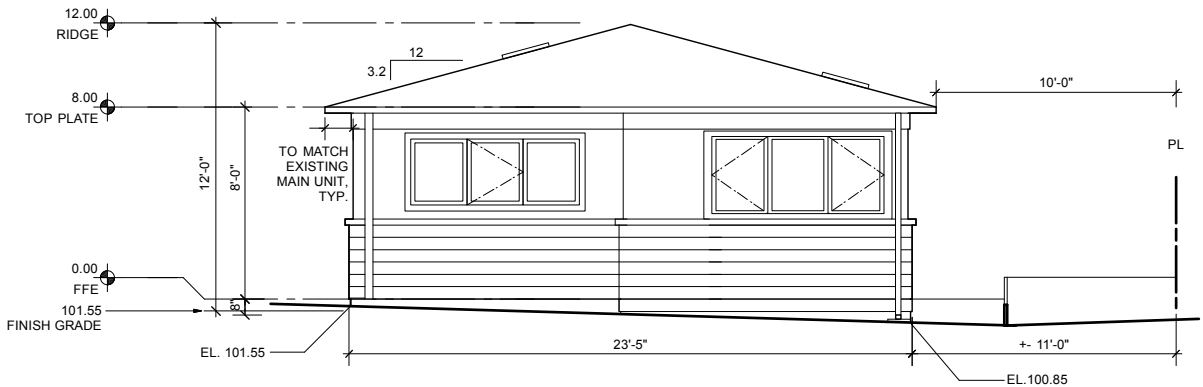
Scale: See Drawing

A3.2

NOTES:

1. (N) ROOF COVERING AT (E) AND (N) ROOFS TO
BE COMPOSITE SHINGLE. ALTERNATIVE:
METAL, PAINTED.

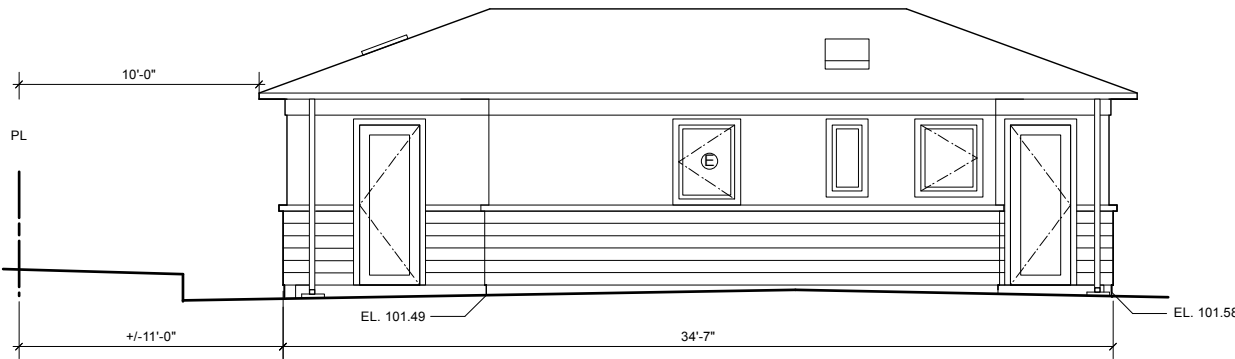
Ⓔ = EGRESS



1

PROPOSED NORTH ELEVATION

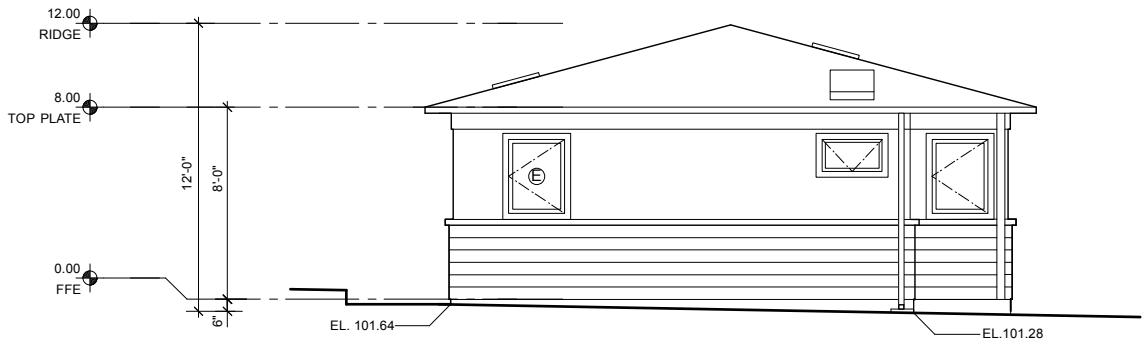
1/4" = 1'-0"



2

PROPOSED EAST ELEVATION

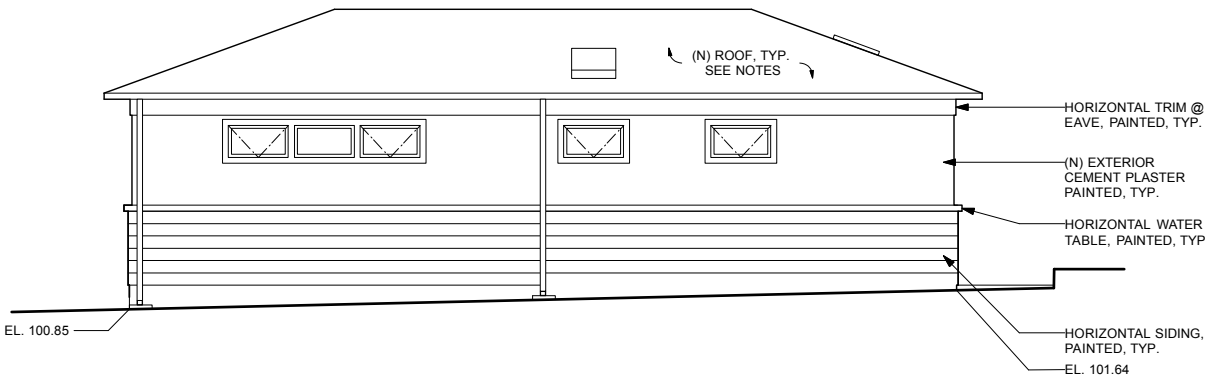
1/4" = 1'-0"



3

PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



4

PROPOSED WEST ELEVATION

1/4" = 1'-0"



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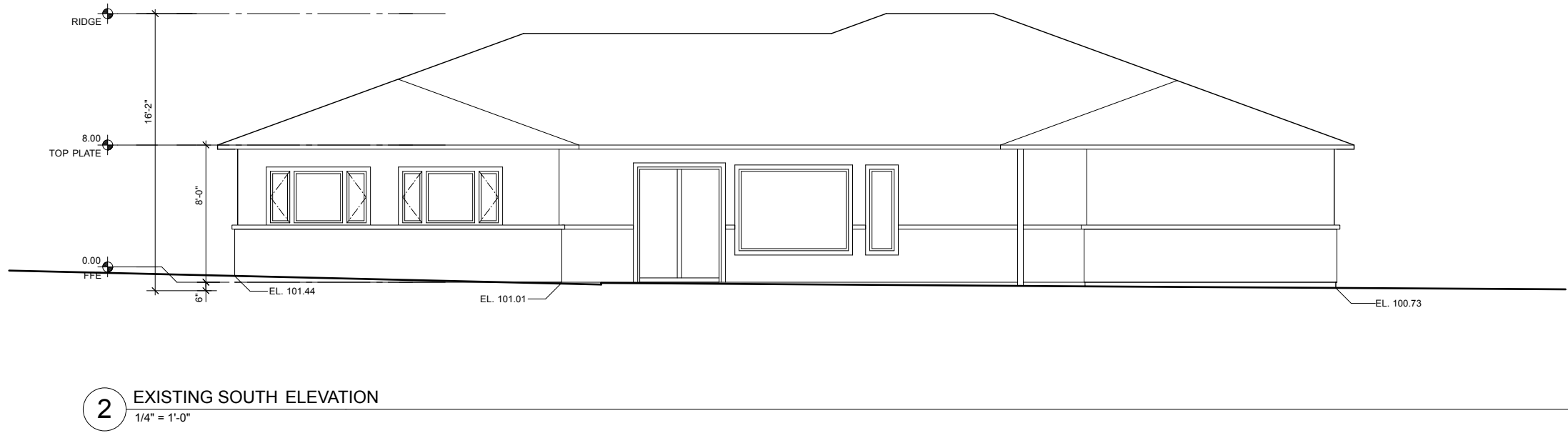
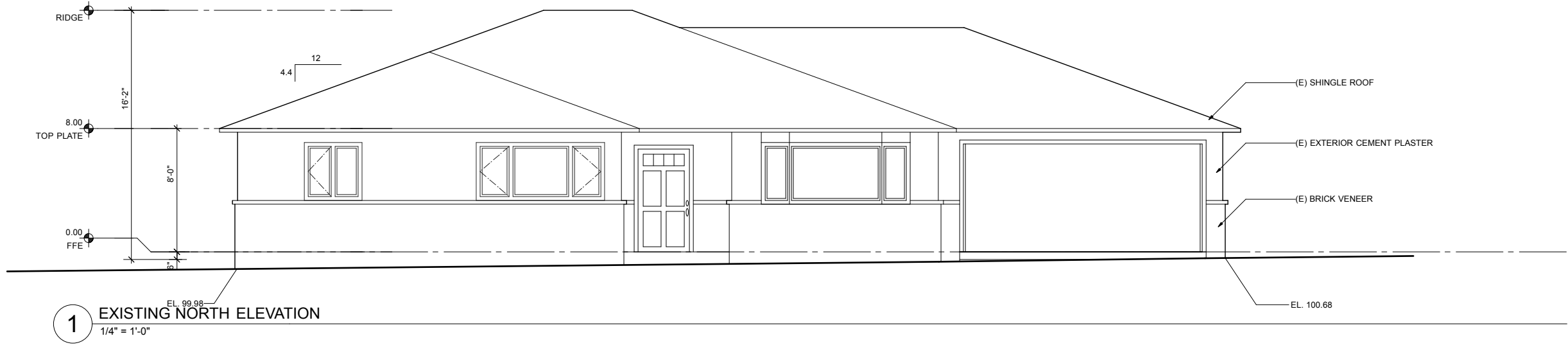
RENOVATION & NEW
CONSTRUCTION

EXISTING ELEVATIONS

Date : 5-19-2015

Scale: See Drawing

A3.3





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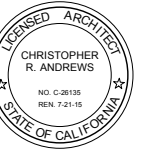
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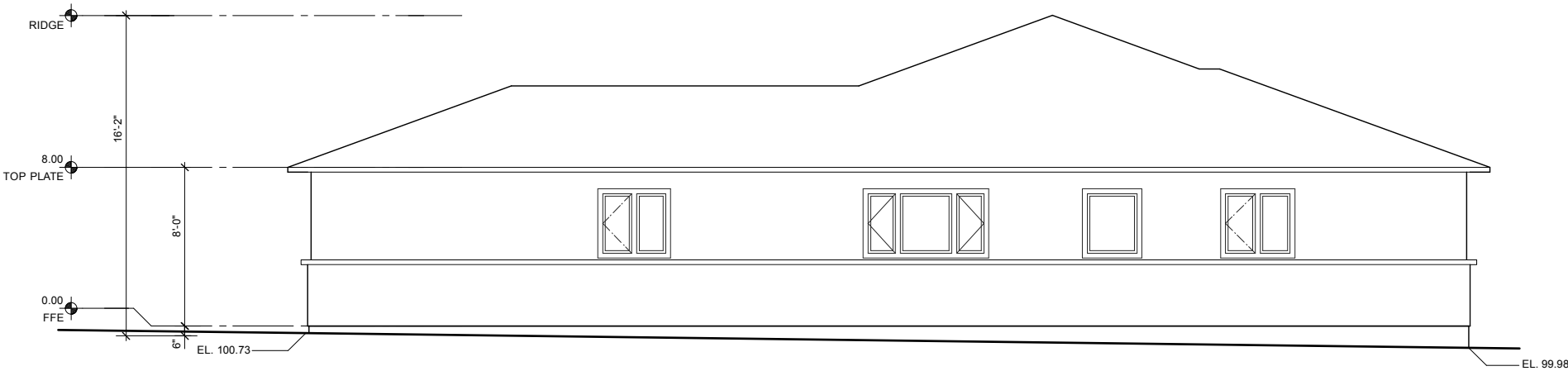
RENOVATION & NEW
CONSTRUCTION

EXISTING ELEVATIONS

Date : 5-19-2015

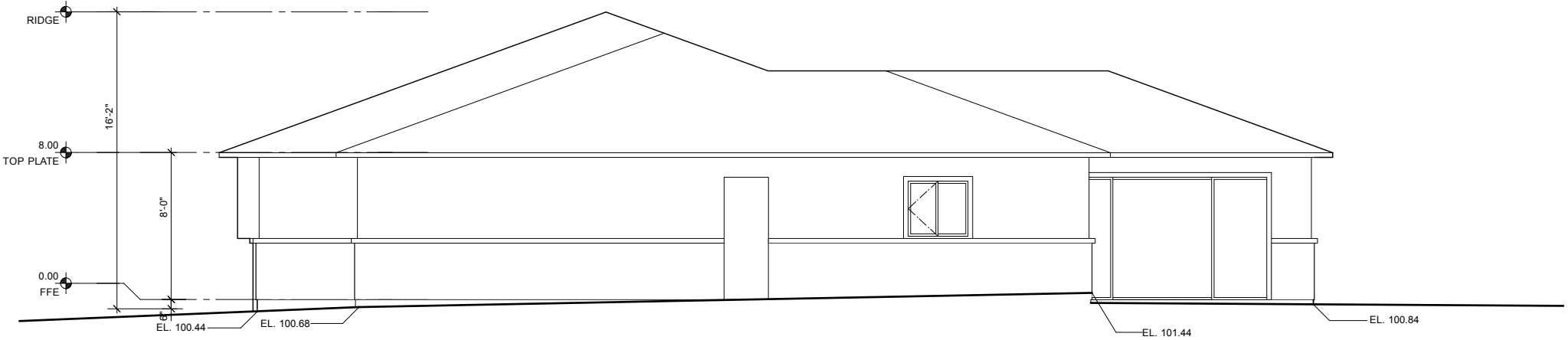
Scale: See Drawing

A3.4



1 EXISTING EAST ELEVATION

1/4" = 1'-0"



2 EXISTING WEST ELEVATION

1/4" = 1'-0"



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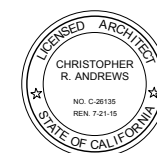
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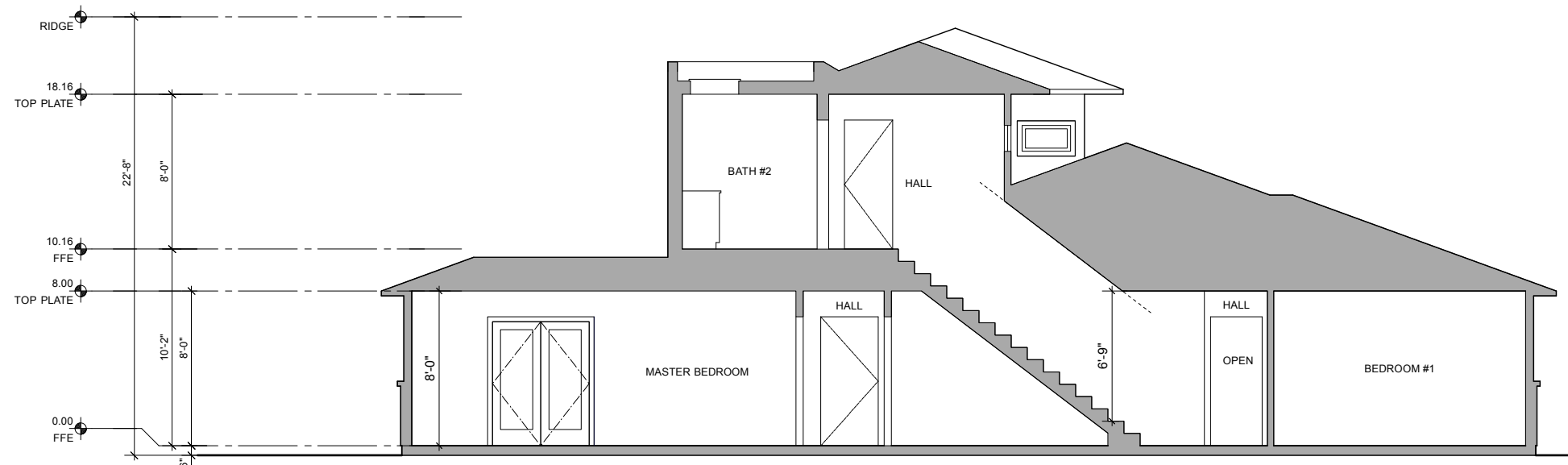
APN: 167-32-041

RENOVATION & NEW
CONSTRUCTION
SECTIONS

Date : 5-19-2015

Scale: See Drawing

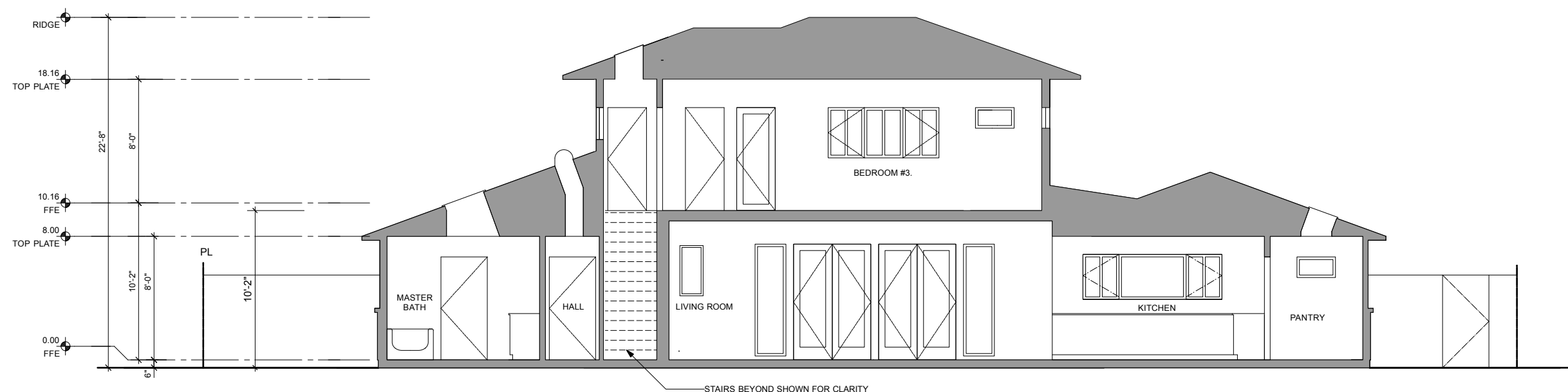
A4.0



1

MAIN RESIDENCE SECTION (PROPOSED)

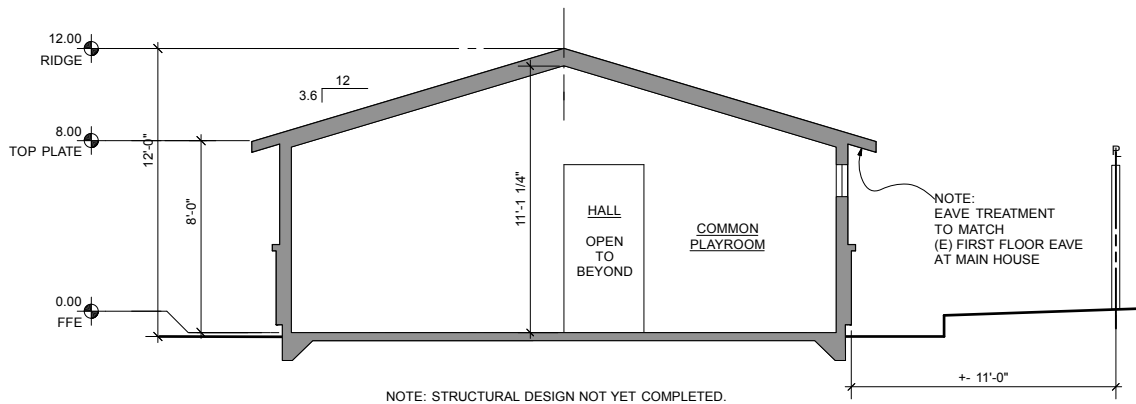
1/4" = 1'-0"



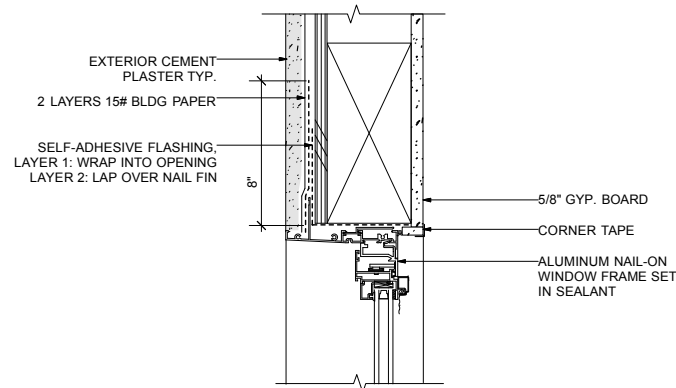
2

MAIN RESIDENCE SECTION (PROPOSED)

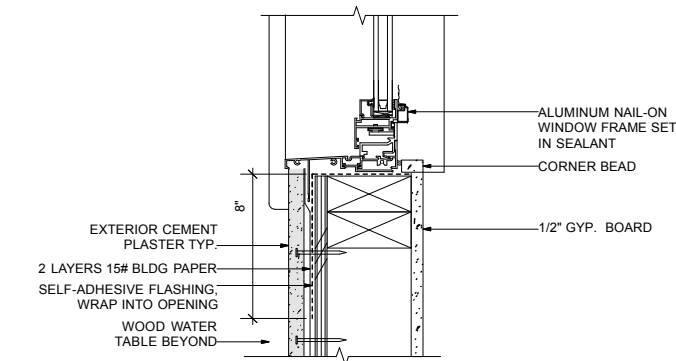
1/4" = 1'-0"



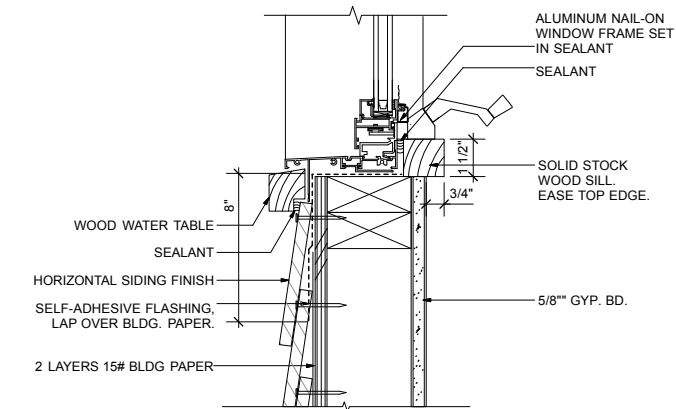
1 ACCESSORY BUILDING SECTION (PROPOSED)
1/4" = 1'-0"



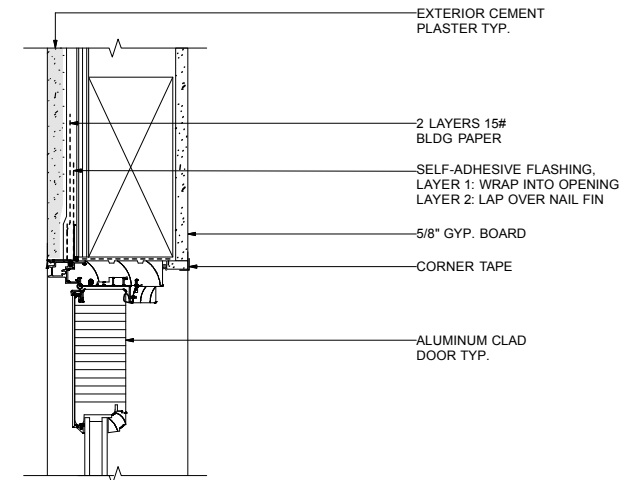
2 TYP. WINDOW HEAD
N.T.S.



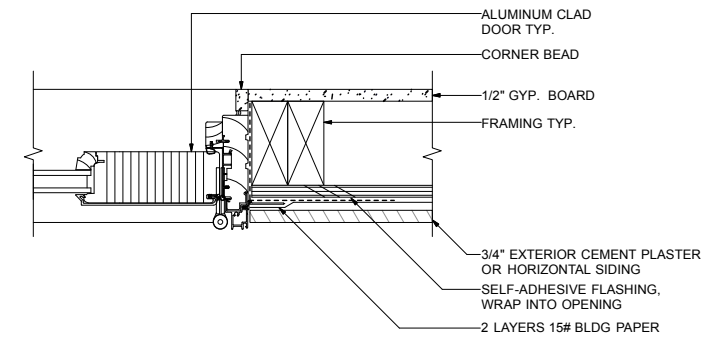
3 TYP. WINDOW JAMB
N.T.S.



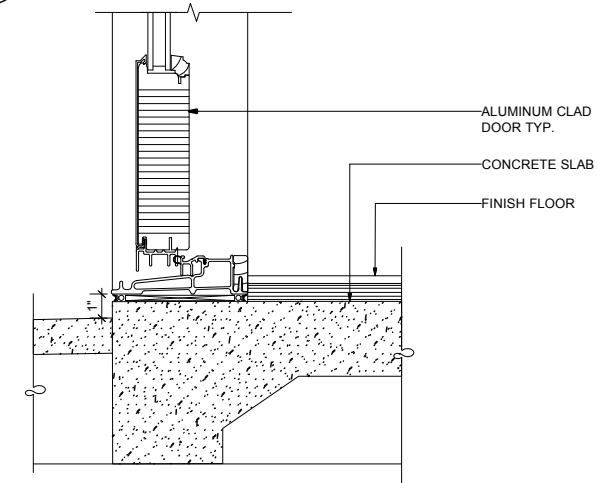
4 TYP. WINDOW SILL
N.T.S.



5 TYP. DOOR HEAD
N.T.S.



6 TYP. DOOR JAMB
N.T.S.



7 TYP. DOOR SILL
N.T.S.



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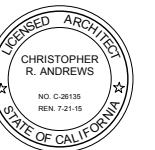
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RENOVATION & NEW
CONSTRUCTION

ACCESSORY
BUILDING SECTION &
WINDOW/DOOR
DETAILS

Date : 5-19-2015

Scale: See Drawing

A4.1